

350.14 ACRES

TURNER COUNTY LAND

- TUESDAY, NOVEMBER 1ST AT 10:30AM -

OWNER

DAVEY

FAMILY



"We Sell The Earth And Everything On It!"

800.251.3111 | Marion, SD | WiemanAuction.com

Wieman Land & Auction Inc., 44628 SD HWY 44, Marion SD 57043

**350.14 ACRES SWAN LAKE TOWNSHIP – TURNER COUNTY LAND
OFFERED IN 3-TRACTS AT AUCTION**

Our family has decided to sell the following land at public auction located at the Wieman Auction Facility located 1-mile south and ½ mile west of Marion, SD on Hwy. 44 on:

**TUESDAY NOVEMBER 1ST
10:30 A.M.**

It is our privilege to offer the following land located in the tightly held Swan Lake Twp of Turner County. Powerful, high indexing soils with predictable yield potential with great location and access along Hwy 18 best describes the land in the offering. If a land purchase is in your future, please come check these out!

TRACT ONE: 124.64 ACRES

LEGAL: Tract 3 of Davey Addition in the SW ¼ of Section 4, 97-53 Turner County, South Dakota.

LOCATION: From the Intersection of Hwy. 18 & 19 north of Viborg, SD go 1 ½ miles west on Hwy. 18 north side of the road. Or at the junction of 454th Ave and Hwy 18

- 99.47 acres tillable with 22.90 acres in pasture balance in Road Right of Way
- Soil rating of 84.5. Predominant soils Egan-Trent loams (92) and Lamo silt loam (70)
- Some of the best soils available in Turner County. Property recently surveyed.
- New buyer able to farm or lease out for 2023 crop year. Annual Taxes estimated at \$2,495.
- Pasture has flowing creek and connects to pasture on Tract 2 under the bridge.
- Base & Yield info, wetland map, and title insurance found in Buyers Packet

TRACT TWO: 150.14 ACRES

LEGAL: The NW ¼ except Lot H3 in Section 9 97-53 Turner County, South Dakota

LOCATION: Directly south of Tract 1

- 94.70 acres tillable, 51.87 acres in pasture balance in Road Right of Ways
- Soil rating of 76.9. Predominant soil Egan-Wentworth (84) and Lamo silt loam (70)
- Available to farm or lease out for 2023. Annual Taxes are \$2,842.40
- Pasture has excellent fences, stock dam & flowing creek. Pasture does connect to pasture on Tract 1 under the bridge.
- Additional info found in buyers packet

TRACT THREE: 75.36 ACRES

LEGAL: The W ½ of the SW ¼ except Davey Tract 1, in Section 17, 97-53 Turner County, South Dakota

LOCATION: From junction of Hwy. 18 & 19 go 3-miles west on Hwy. 18 turn south on 453rd Ave go 1 ½ miles south land is on the east side of the road. Or at junction of 288th St and 453rd Ave

- 51.32 acres tillable land, 12.47 acres in grass/hay land, 6.23 acres in trees – waterway- grass balance found in Road Right of Way.
- Improved acreage is out not included. Soil Production rating of 57.2.
- Annual Taxes are \$832.94 New buyer able to farm or lease out for 2023 crop year.

TO INSPECT THE PROPERTY: We invite you to inspect the property at your convenience. Buyers packets are available by calling the auctioneers at 800-251-3111. Drone video footage and buyers packets available at www.wiemanauktion.com

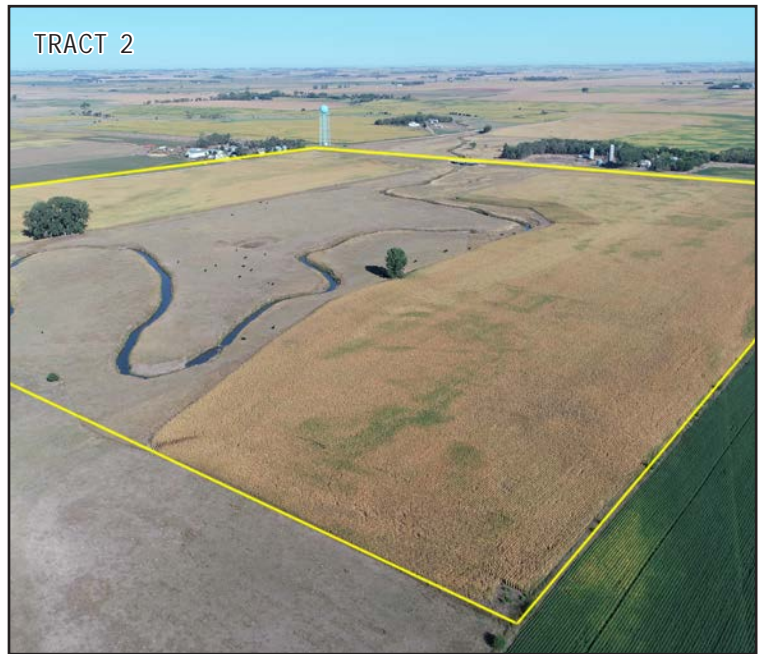
TERMS: Cash sale with 15% (non-refundable) down payment auction day with the balance on or before December 20, 2022. Warranty Deed to be granted with the cost of title insurance split 50-50 between

buyer and seller. Sellers to pay the 2022 taxes in full. Buyers will be responsible for all 2023 taxes due in 2024. Auctioneers represent the sellers. Sold subject to owners approval and all easements and restrictions of record. Remember land auction held in the Wieman Auction Facility!

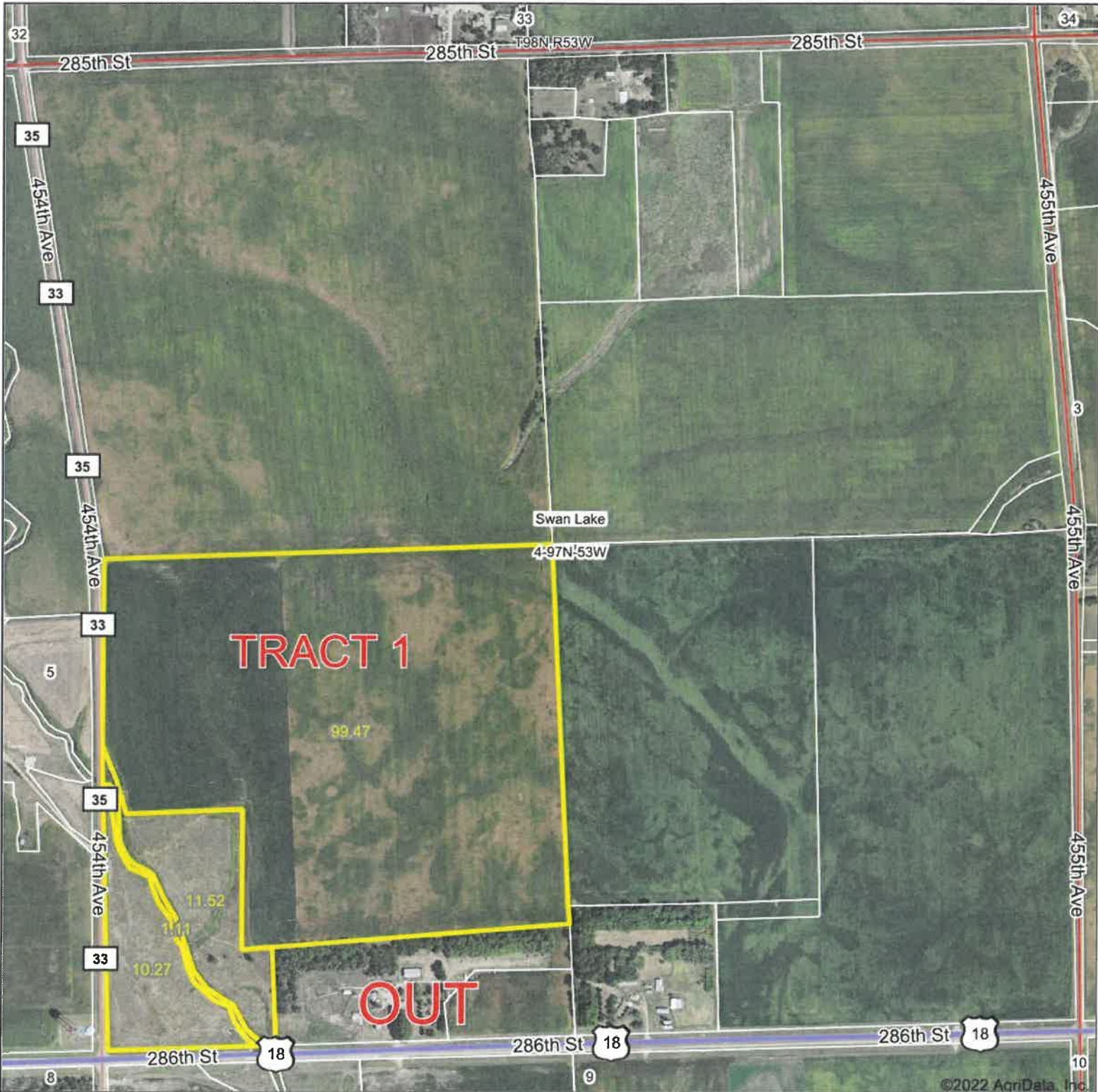
WAYNE DAVEY – CURT DAVEY – JEAN SKONHOVD – OWNERS

Wieman Land & Auction Co. Inc.
Marion, SD 800-251-3111
www.wiemanauktion.com

Ward Law Office
Closing Attorney
605-326-5282



Aerial Map

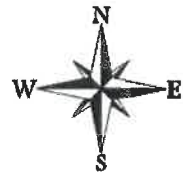


Map Center: 43° 14' 59.53, -97° 6' 41.87

0ft 816ft 1632ft



4-97N-53W
Turner County
South Dakota



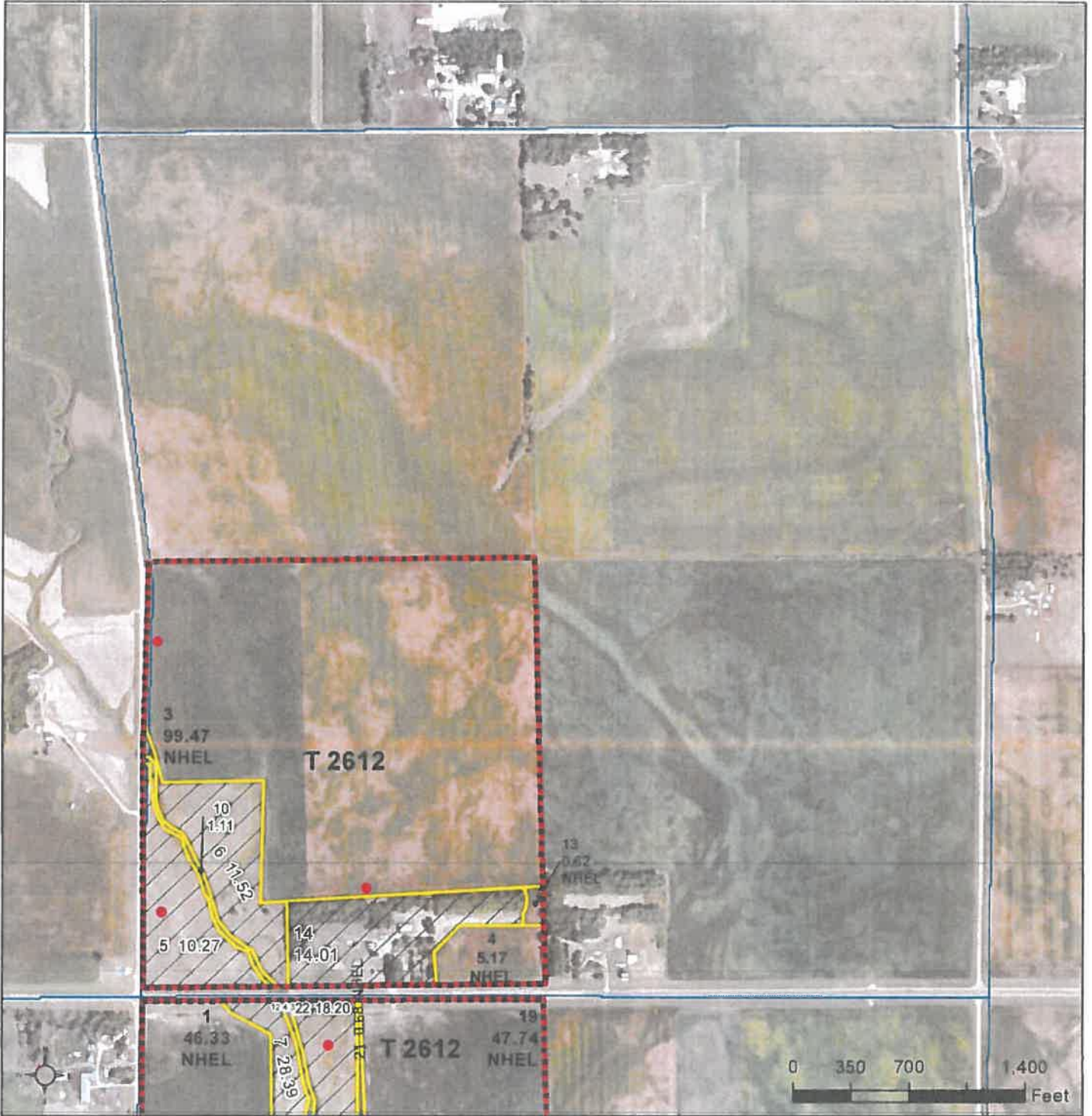
9/7/2022

Maps Provided By:



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Field borders provided by Farm Service Agency as of 5/21/2008.



Common Land Unit Tract Boundary
 Non-Cropland PLSS
 Cropland

Wetland Determination Identifiers

- Restricted Use
- Limited Restrictions
- Exempt from Conservation Compliance Provisions

2022 Program Year

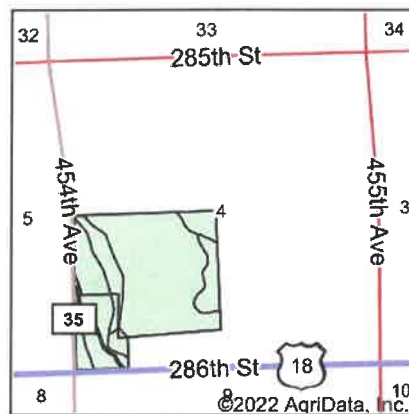
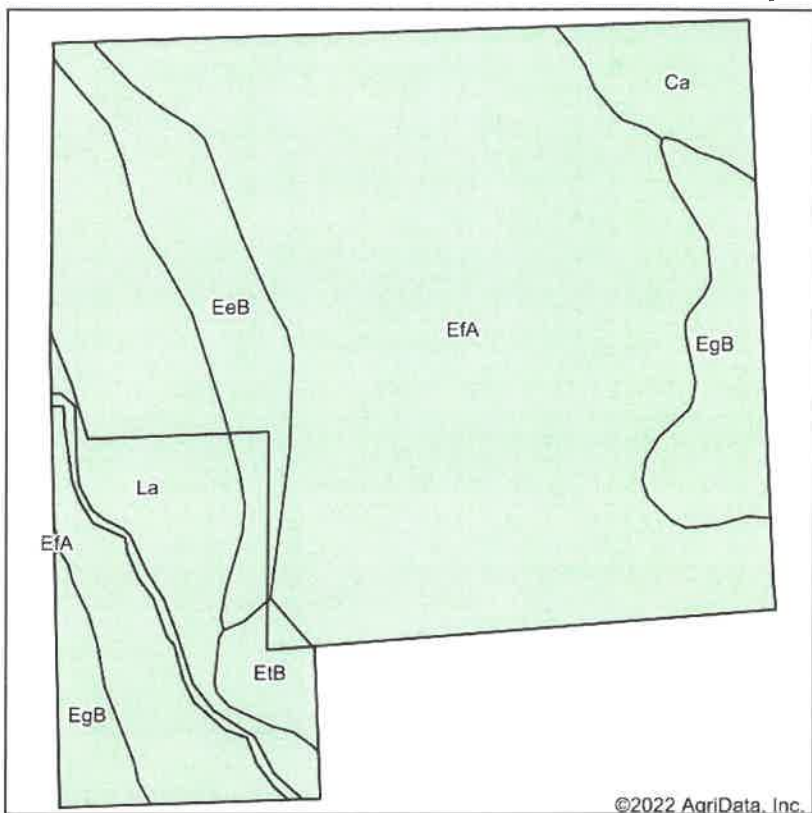
Map Created August 09, 2022

Farm 9515

4-97N-53W-Turner

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Soils Map



State: **South Dakota**
 County: **Turner**
 Location: **4-97N-53W**
 Township: **Swan Lake**
 Acres: **122.37**
 Date: **9/2/2022**



Maps Provided By:



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Soils data provided by USDA and NRCS.

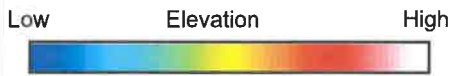
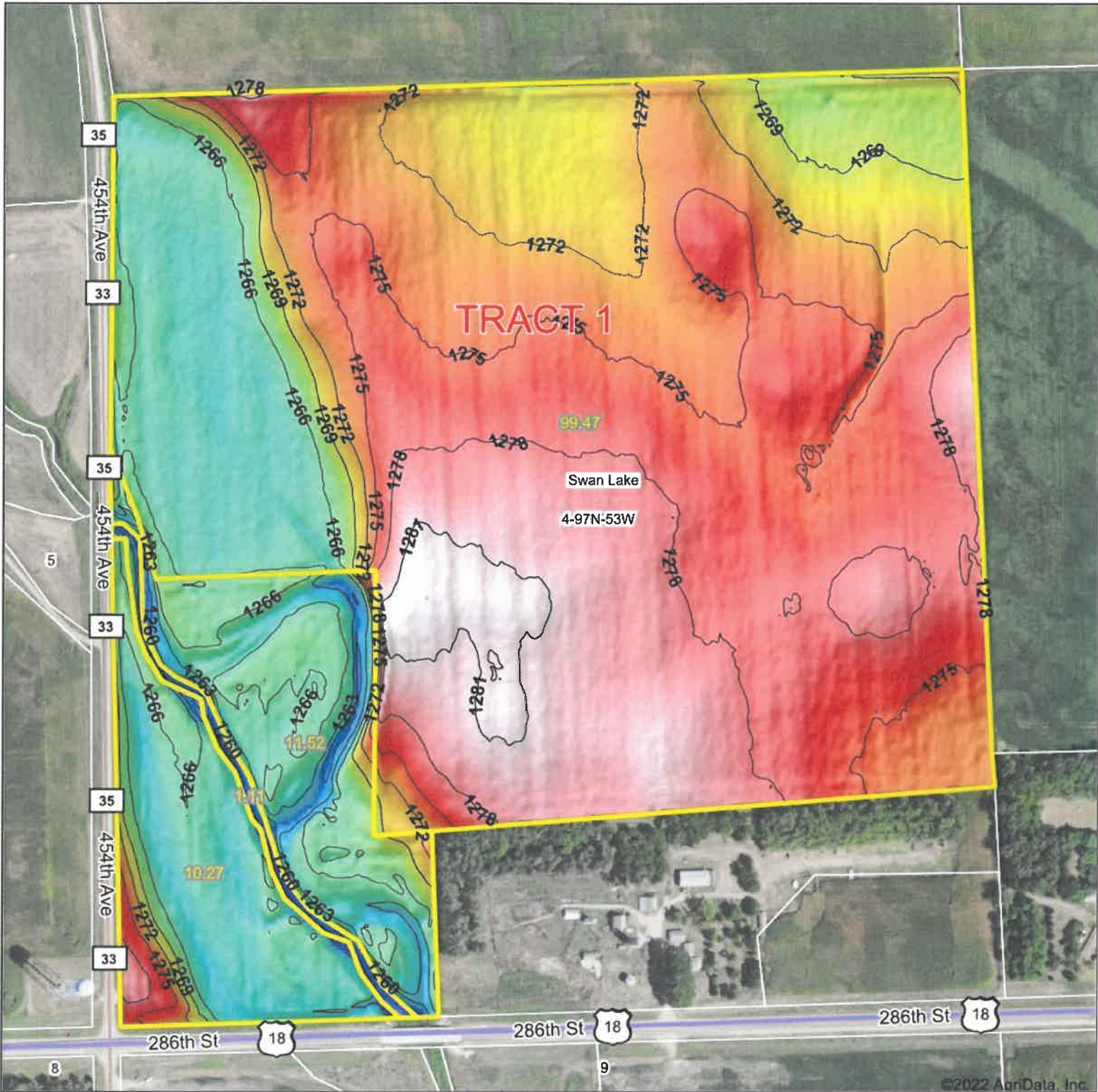
| Area Symbol: SD125, Soil Area Version: 23 | | | | | | |
|---|---|-------|------------------|------------------|--------------|--------------------|
| Code | Soil Description | Acres | Percent of field | Non-Irr Class *c | Irr Class *c | Productivity Index |
| EfA | Egan-Trent silty clay loams, 0 to 2 percent slopes | 67.81 | 55.4% | | Is | 92 |
| La | Lamo silty clay loam, cool, 0 to 2 percent slopes, occasionally flooded | 25.41 | 20.8% | | Ilw Ilw | 70 |
| EgB | Egan-Wentworth complex, 2 to 6 percent slopes | 11.00 | 9.0% | | Ile | 84 |
| EeB | Egan-Ethan complex, 2 to 6 percent slopes | 10.43 | 8.5% | | Ile | 77 |
| Ca | Chancellor silty clay loam, 0 to 2 percent slopes, frequently flooded | 5.09 | 4.2% | | Ilw | 81 |
| EtB | Ethan-Egan complex, 2 to 6 percent slopes | 2.63 | 2.1% | | Ille | 72 |
| Weighted Average | | | | | 1.47 | 84.5 |

*c: Using Capabilities Class Dominant Condition Aggregation Method

*- Irr Class weighted average cannot be calculated on the current soils data due to missing data.

Soils data provided by USDA and NRCS.

Topography Hillshade



Maps Provided By:



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Source: USGS 3 meter dem
 Interval(ft): 3
 Min: 1,257.4
 Max: 1,282.3
 Range: 24.9
 Average: 1,272.5
 Standard Deviation: 5.61 ft



9/2/2022

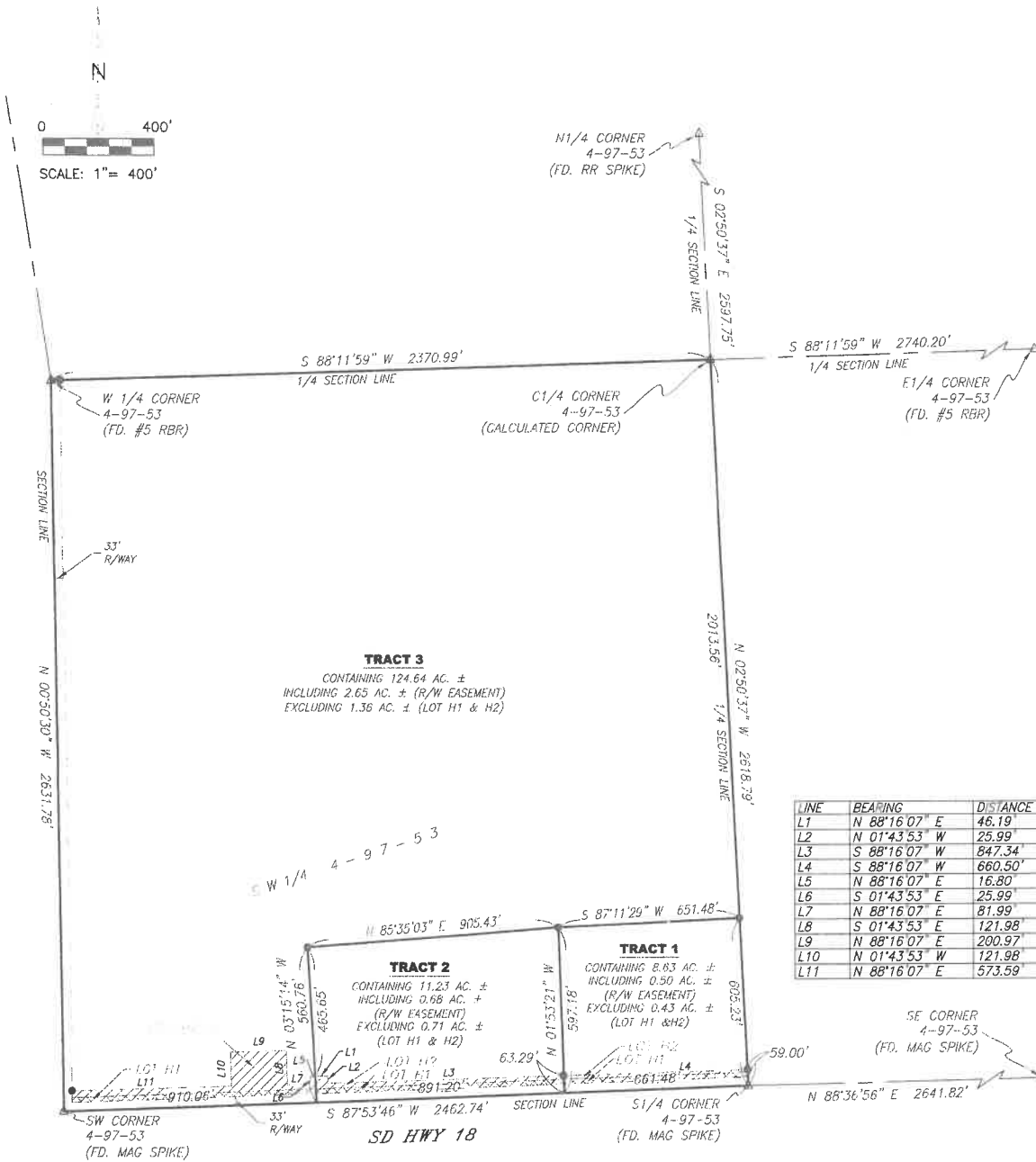
4-97N-53W
Turner County
South Dakota

map center: 43° 14' 59.53, -97° 6' 41.87

Field borders provided by Farm Service Agency as of 5/21/2008.

PLAT OF TRACT 1, TRACT 2, AND TRACT 3 OF DAVEY ADDITION

AN ADDITION IN THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 97 NORTH,
RANGE 53 WEST OF THE 5TH PRINCIPAL MERIDIAN, TURNER COUNTY, SOUTH DAKOTA.



LEGEND:

- SET 5/8" REBAR W/CAP #9592
- FD. MONUMENT
- △ SECTION CORNER (AS NOTED)
- (R) RECORD INFORMATION
- AC. ACRES
- S.F. SQUARE FEET
- U.E. UTILITY EASEMENT
- A.E. ACCESS EASEMENT
- D.E. DRAINAGE EASEMENT
- R/W RIGHT-OF-WAY
- N.T.S. NOT TO SCALE
- EASEMENT LINE
- - - PREVIOUSLY PLATTED PROPERTY LINE
- SECTION LINE
- ▭ PLATTED PARCEL

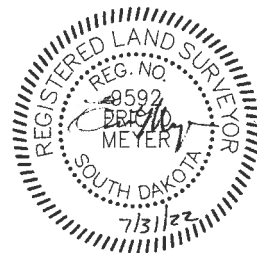
NOTES:
BASIS OF BEARINGS IS UTM-ZONE 14

THIS PLAT WAS PREPARED WITHOUT THE
BENEFIT OF A TITLE COMMITMENT.

EASEMENTS OF RECORD WERE NOT
RESEARCHED AND ARE NOT SHOWN ON
THE PLAT.



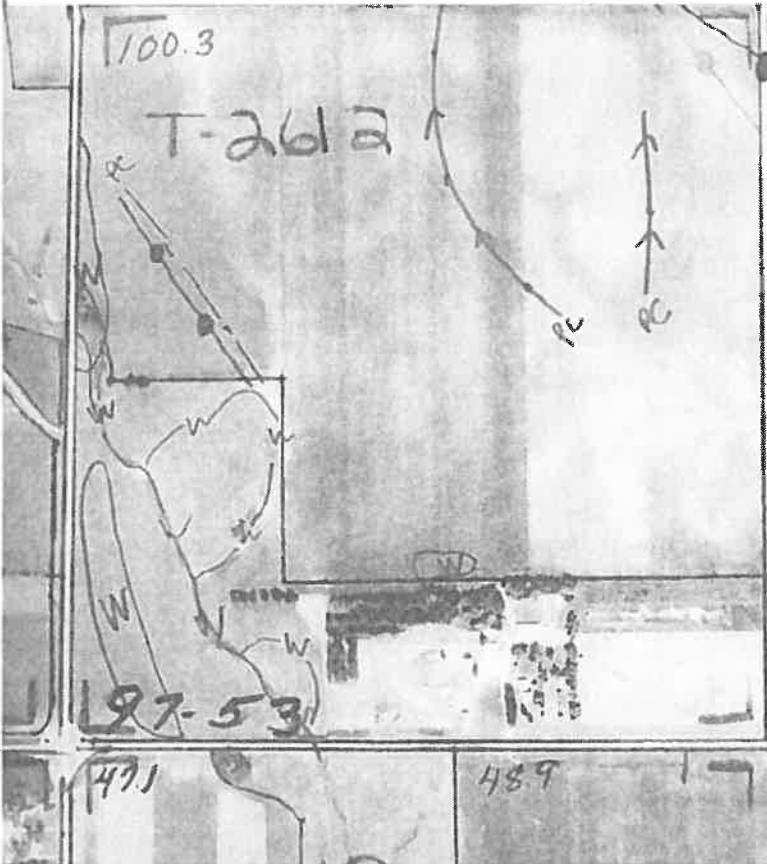
AREA MAP N.T.S.
SECTION 4, T97N, R53W
5TH P.M.



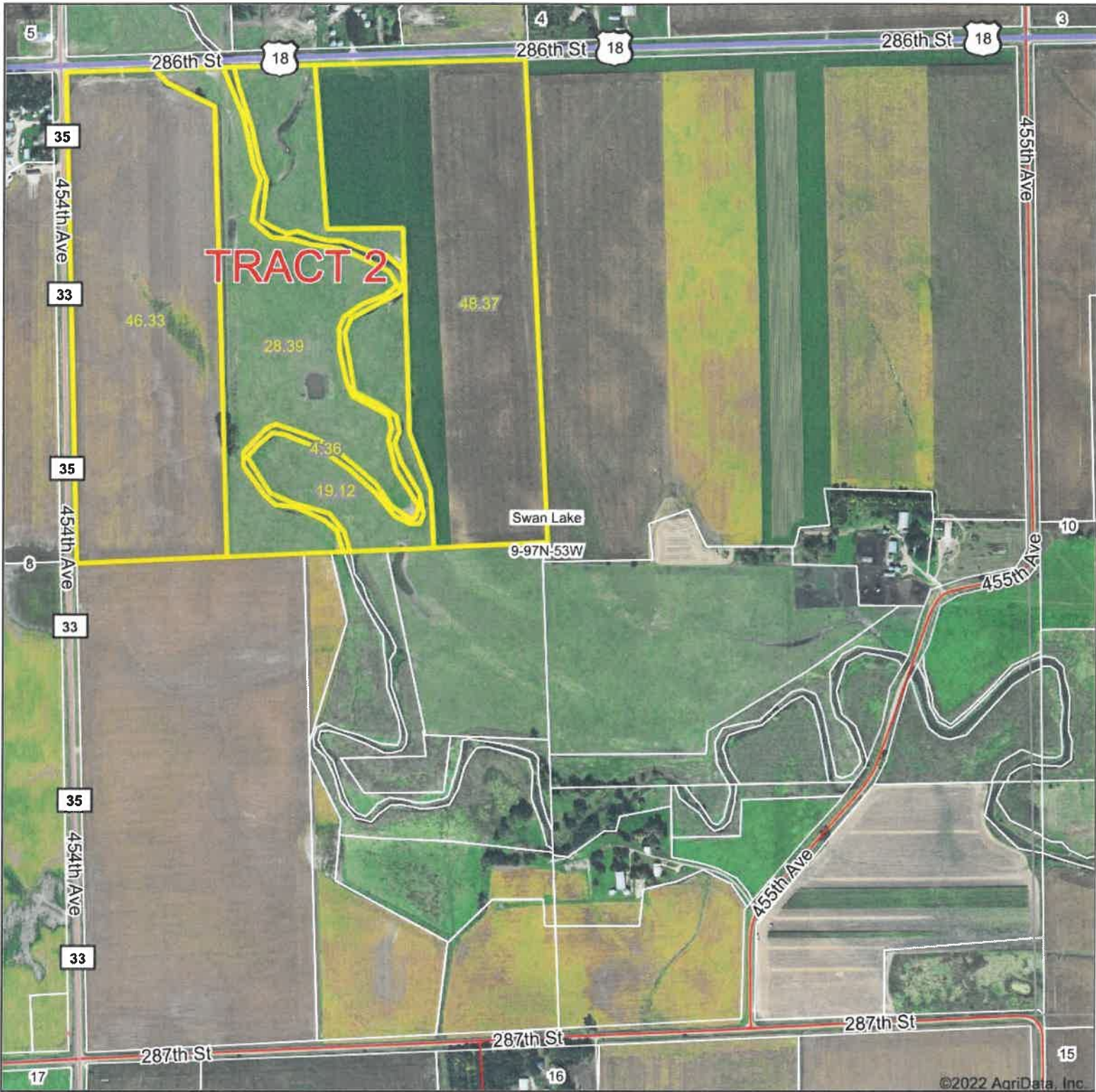
PREPARED BY:
Meyer Land Surveying, LLC
45246 Hwy 44
Parker, SD 57053
Phone: (605) 310-9401

OFFICIAL WETLAND DETERMINATION
for Highlighted Tracts Only

- (M) Wetland
- (FW) Ditched or tilled prior to 12-23-85 but still wetland
- (PC) Converted Wetland prior to 12-23-85
- (CM) Converted Wetland after 12-23-85
- (---) Ditched prior to 12-23-85
- (---) Tilled prior to 12-23-85
- (---W---) Wetland in a channel



Aerial Map



Maps Provided By:

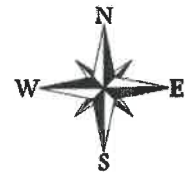


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Map Center: 43° 14' 7.63, -97° 6' 39.87



9-97N-53W
Turner County
South Dakota

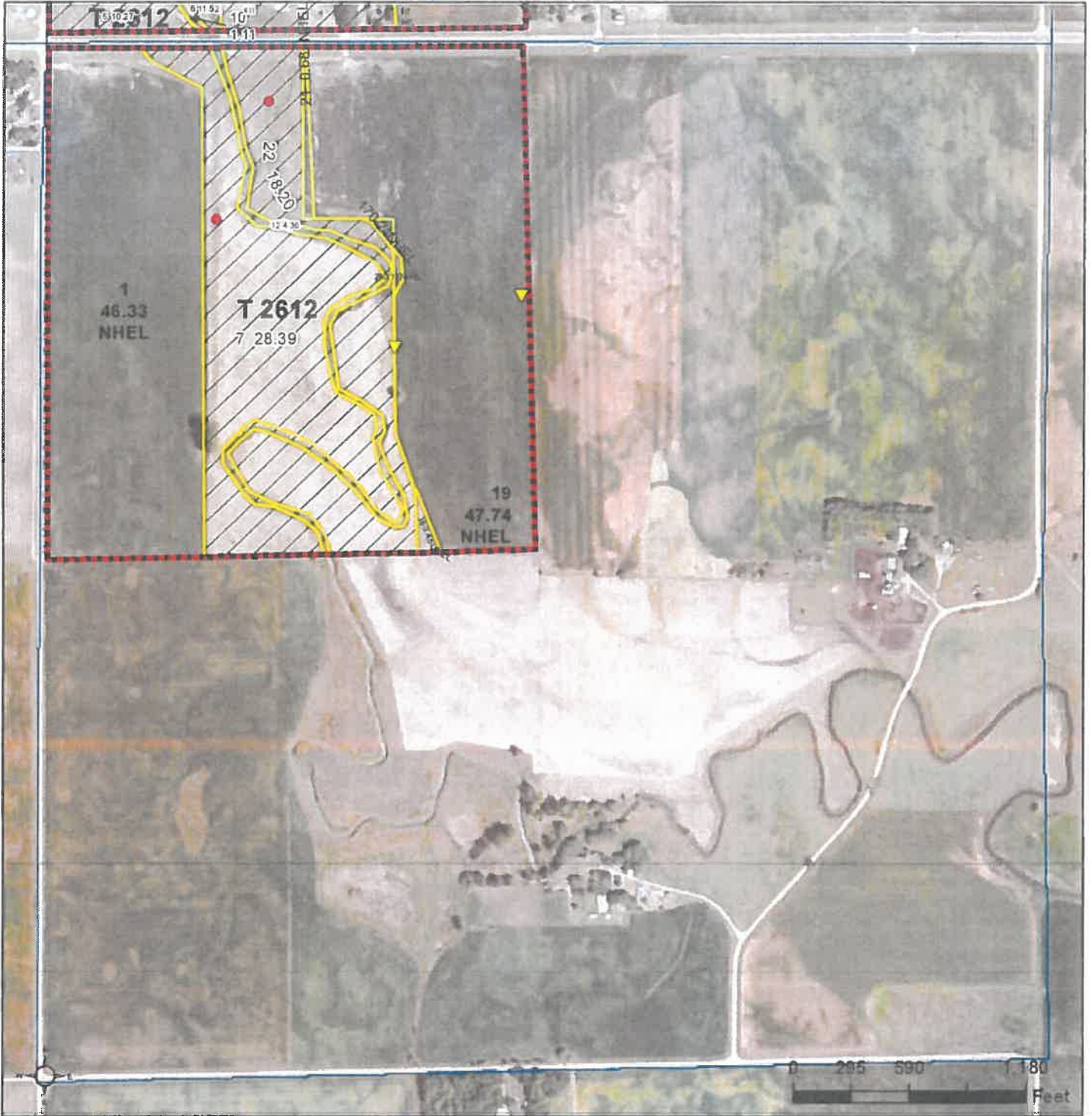


9/2/2022



United States
Department of
Agriculture

Turner County, South Dakota



Common Land Unit Tract Boundary
 Non-Cropland PLSS
 Cropland

Wetland Determination Identifiers

- Restricted Use
- Limited Restrictions
- Exempt from Conservation Compliance Provisions

2022 Program Year

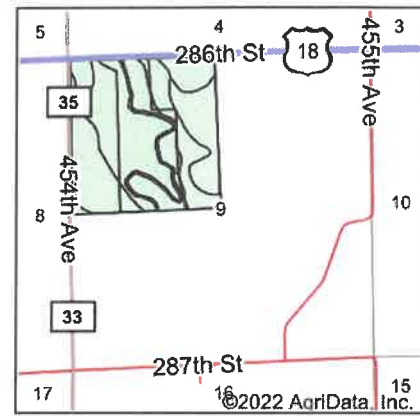
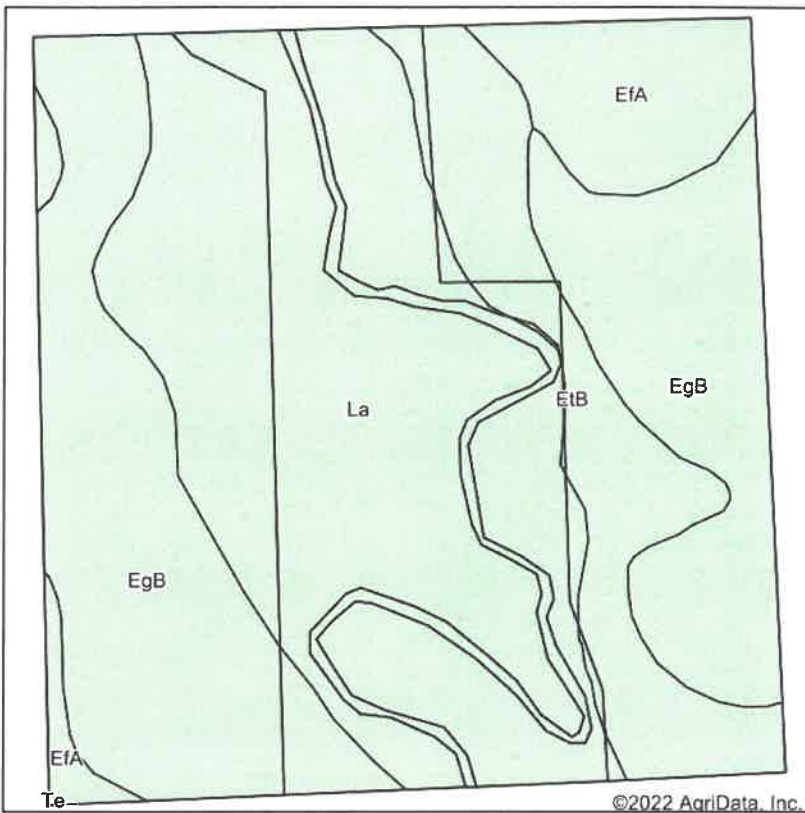
Map Created August 09, 2022

Farm 9515

9-97N-53W-Turner

United States Department of Agriculture (USDA) Farm Service Agency (FSA) maps are for FSA Program administration only. This map does not represent a legal survey or reflect actual ownership; rather it depicts the information provided directly from the producer and/or National Agricultural Imagery Program (NAIP) imagery. The producer accepts the data 'as is' and assumes all risks associated with its use. USDA-FSA assumes no responsibility for actual or consequential damage incurred as a result of any user's reliance on this data outside FSA Programs. Wetland identifiers do not represent the size, shape, or specific determination of the area. Refer to your original determination (CPA-026 and attached maps) for exact boundaries and determinations or contact USDA Natural Resources Conservation Service (NRCS).

Soils Map



State: **South Dakota**
 County: **Turner**
 Location: **9-97N-53W**
 Township: **Swan Lake**
 Acres: **146.57**
 Date: **9/2/2022**



Maps Provided By:



Soils data provided by USDA and NRCS.

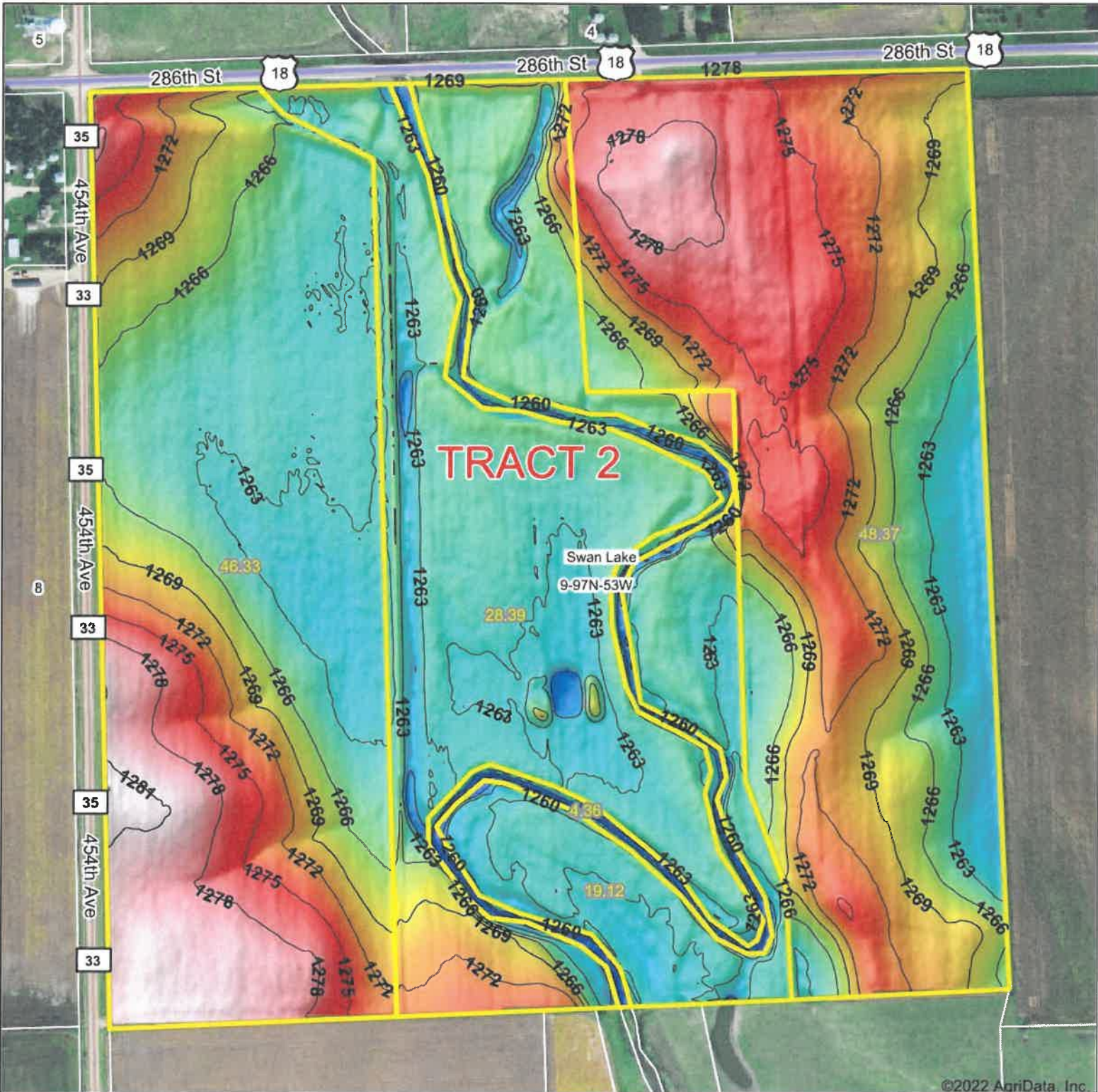
| Area Symbol: SD125, Soil Area Version: 23 | | | | | | |
|---|---|-------|------------------|------------------|--------------|--------------------|
| Code | Soil Description | Acres | Percent of field | Non-Irr Class *c | Irr Class *c | Productivity Index |
| La | Lamo silty clay loam, cool, 0 to 2 percent slopes, occasionally flooded | 65.38 | 44.6% | IIw | IIw | 70 |
| EgB | Egan-Wentworth complex, 2 to 6 percent slopes | 50.81 | 34.7% | IIe | | 84 |
| EtB | Ethan-Egan complex, 2 to 6 percent slopes | 18.75 | 12.8% | IIIe | | 72 |
| EfA | Egan-Trent silty clay loams, 0 to 2 percent slopes | 11.63 | 7.9% | Is | | 92 |
| Weighted Average | | | | 2.05 | *- | 76.9 |

*c: Using Capabilities Class Dominant Condition Aggregation Method

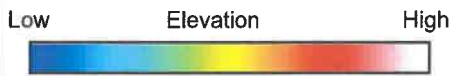
*- Irr Class weighted average cannot be calculated on the current soils data due to missing data.

Soils data provided by USDA and NRCS.

Topography Hillshade



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Maps Provided By:



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Source: USGS 3 meter dem

Interval(ft): 3

Min: 1,255.3

Max: 1,282.0

Range: 26.7

Average: 1,267.7

Standard Deviation: 5.74 ft



9/2/2022

9-97N-53W
Turner County
South Dakota

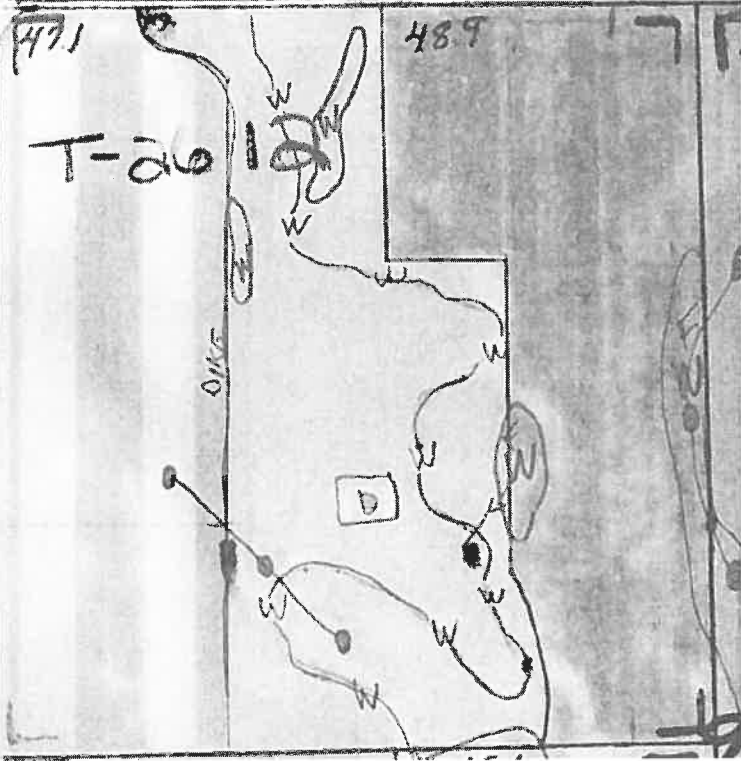
map center: 43° 14' 7.63, -97° 6' 39.87

Field borders provided by Farm Service Agency as of 5/21/2008.

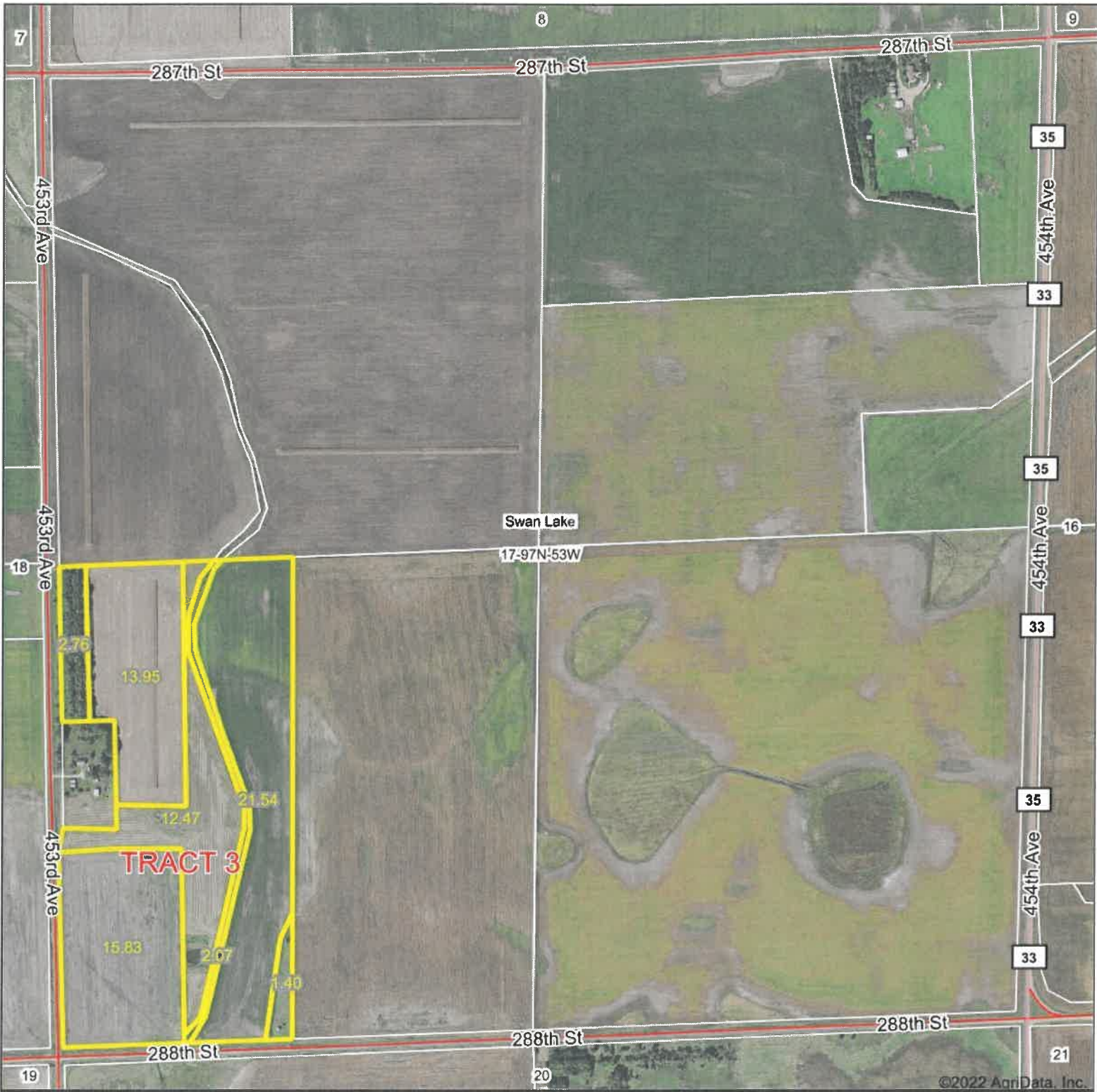
OFFICIAL WETLAND DETERMINATION
for Highlighted Tracts Only

- (W) Wetland
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- (PC) Converted Wetland prior to 12-23-85
- (CW) Converted Wetland after 12-23-85
- (---) Ditched prior to 12-23-85
- (---) Tilled prior to 12-23-85
- (---w---) Wetland in a channel

97-53



Aerial Map



Map Center: 43° 13' 14.79, -97° 7' 50.9



17-97N-53W
Turner County
South Dakota



9/2/2022

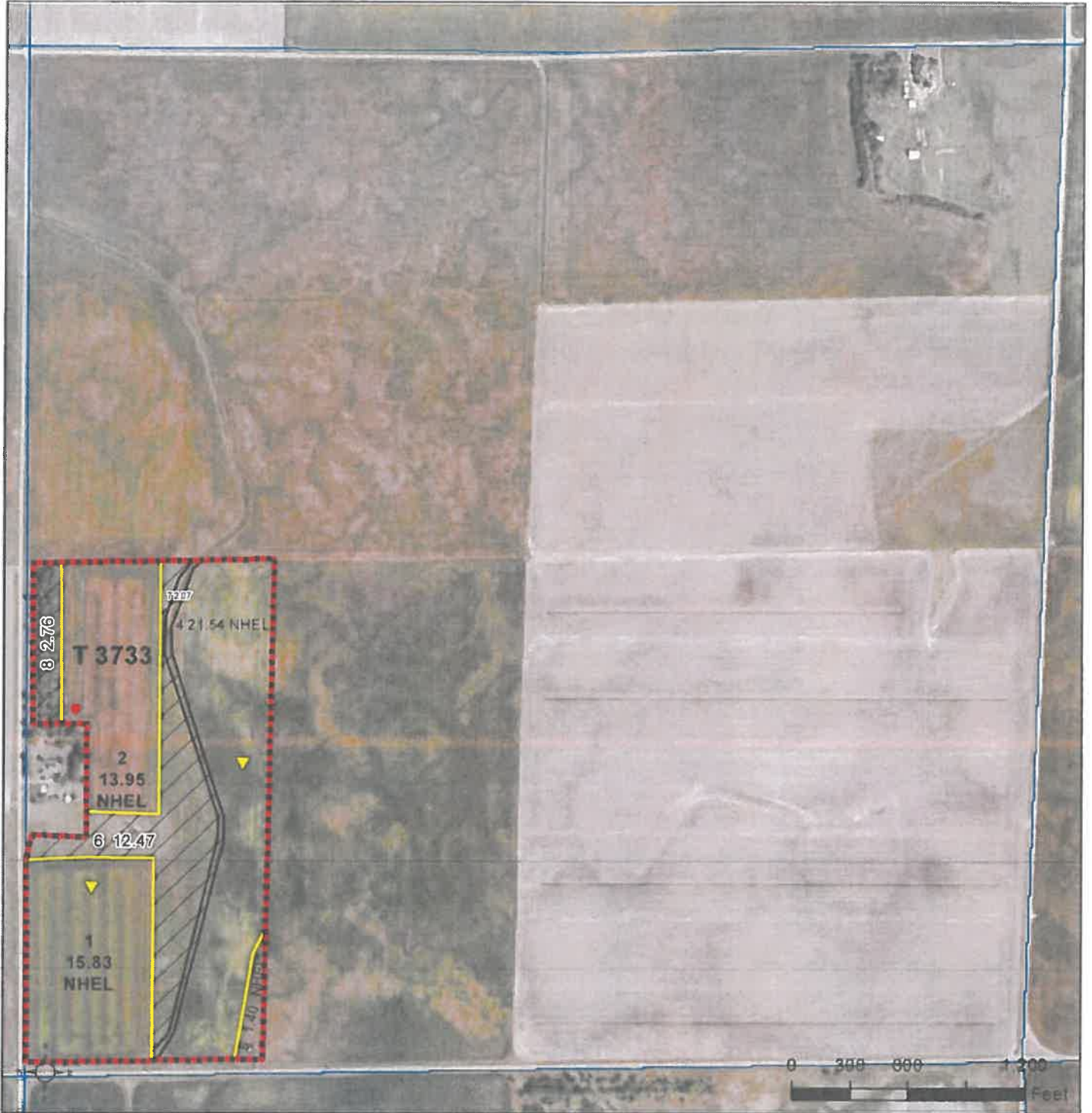


Maps Provided By



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Field borders provided by Farm Service Agency as of 5/21/2008.



Common Land Unit

- Non-Cropland
- Cropland
- Tract Boundary
- PLSS

Wetland Determination Identifiers

- Restricted Use
- Limited Restrictions
- Exempt from Conservation
- Compliance Provisions

2022 Program Year

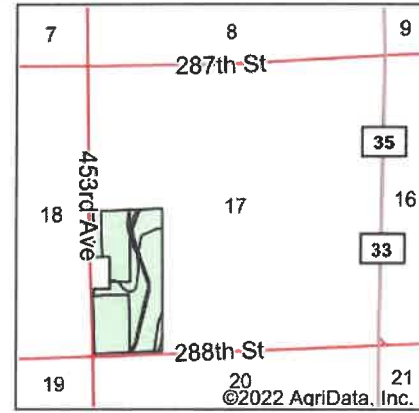
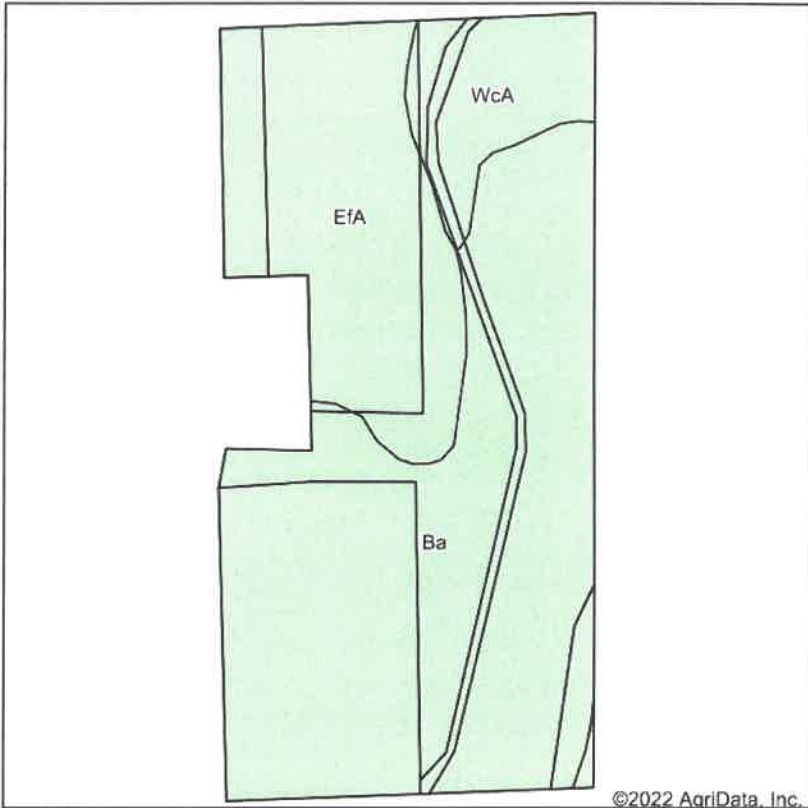
Map Created February 09, 2022

Farm 9516

17-97N-53W-Turner

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Soils Map



State: **South Dakota**
 County: **Turner**
 Location: **17-97N-53W**
 Township: **Swan Lake**
 Acres: **70.02**
 Date: **9/2/2022**



Maps Provided By:



Soils data provided by USDA and NRCS.

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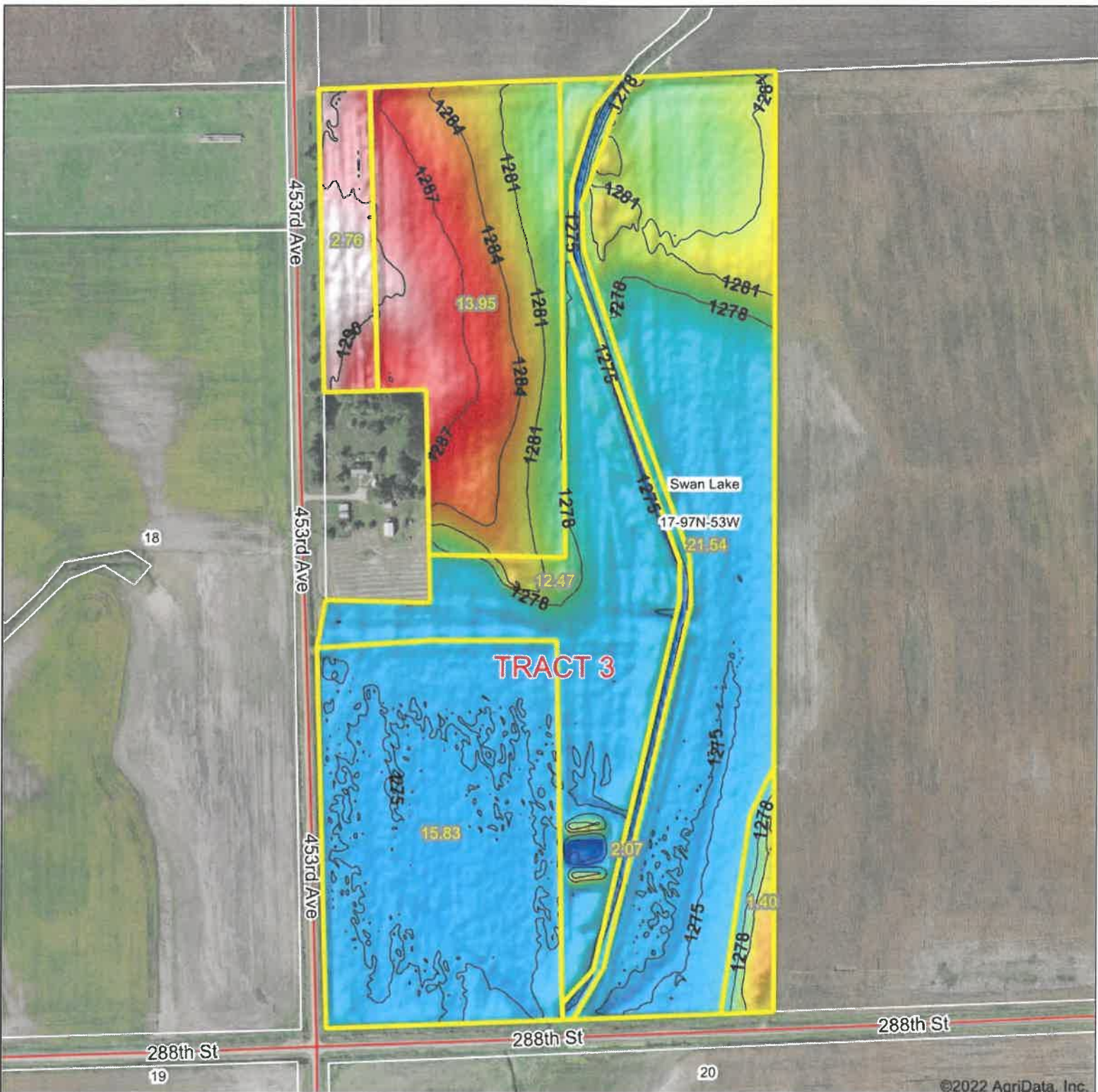
www.AgriDataInc.com

| Area Symbol: SD125, Soil Area Version: 23 | | | | | |
|---|--|-------|------------------|------------------|--------------------|
| Code | Soil Description | Acres | Percent of field | Non-Irr Class *c | Productivity Index |
| Ba | Baltic silty clay loam | 43.54 | 62.2% | Vw | 37 |
| EfA | Egan-Trent silty clay loams, 0 to 2 percent slopes | 19.63 | 28.0% | Is | 92 |
| WcA | Wentworth-Chancellor-Wakonda silty clay loams, 0 to 2 percent slopes | 6.85 | 9.8% | Iw | 86 |
| Weighted Average | | | | 3.49 | 57.2 |

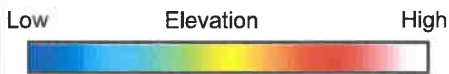
*c: Using Capabilities Class Dominant Condition Aggregation Method

Soils data provided by USDA and NRCS.

Topography Hillshade



©2022 AgriData, Inc.



Maps Provided By:



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Source: USGS 3 meter dem
 Interval(ft): 3
 Min: 1,271.6
 Max: 1,291.8
 Range: 20.2
 Average: 1,278.5
 Standard Deviation: 4.59 ft



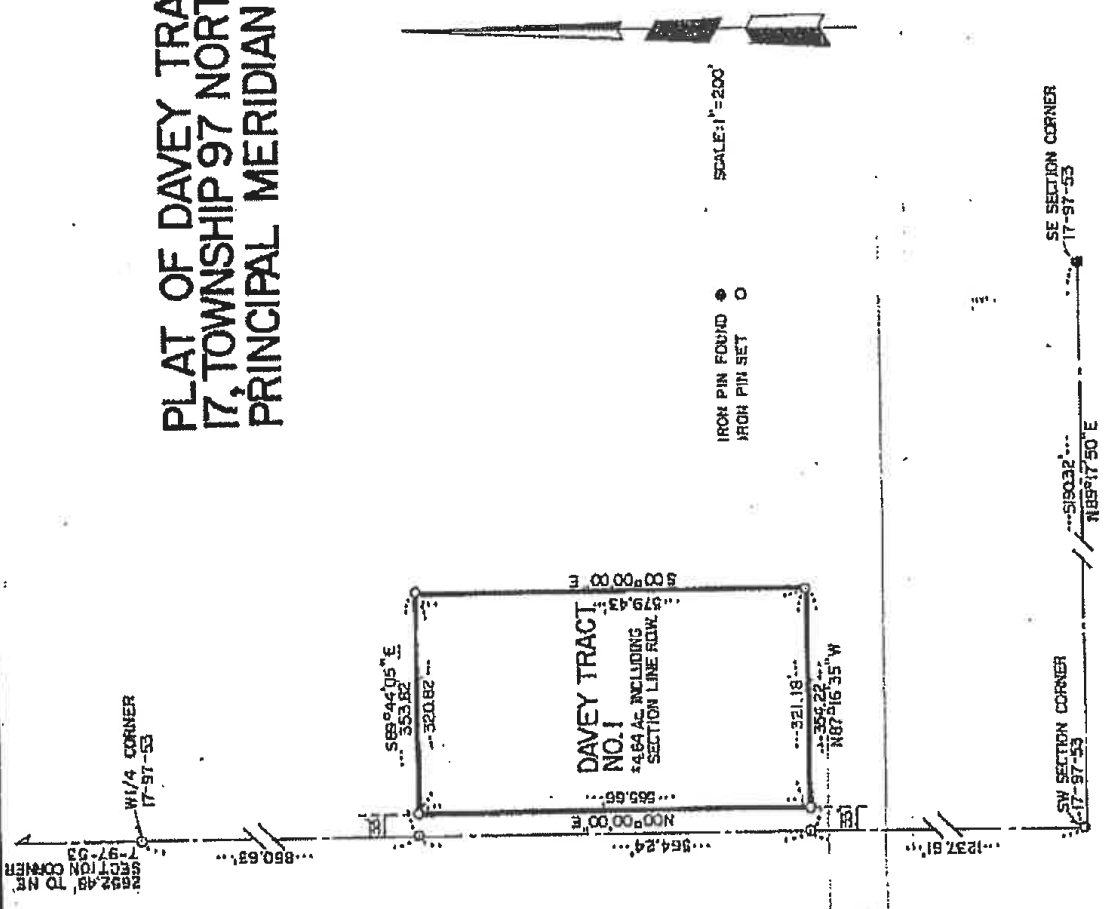
9/2/2022

17-97N-53W
Turner County
South Dakota

map center: 43° 13' 14.79, -97° 7' 50.9

Field borders provided by Farm Service Agency as of 5/21/2008.

PLAT OF DAVEY TRACT NO. 1 IN THE SW 1/4 OF SECTION 17, TOWNSHIP 97 NORTH, RANGE 53 WEST OF THE 5TH. PRINCIPAL MERIDIAN, TURNER COUNTY, SOUTH DAKOTA.



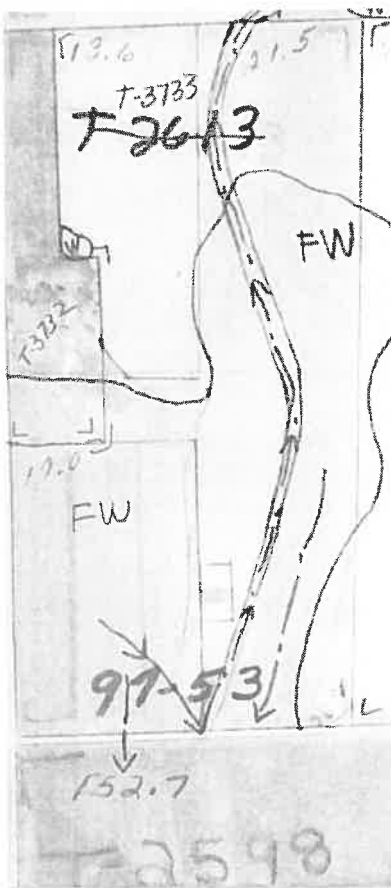
SURVEYOR'S CERTIFICATE

I, DANIEL A. NORMAN, A REGISTERED LAND SURVEYOR OF THE STATE OF SOUTH DAKOTA DO HEREBY CERTIFY THAT I HAVE SURVEYED AND PLATTED INTO ONE TRACT, A PORTION OF THE SW 1/4 OF SECTION 17, TOWNSHIP 97 NORTH, RANGE 53 WEST OF THE 5TH PRINCIPAL MERIDIAN, TURNER COUNTY, SOUTH DAKOTA. THAT PORTION IS DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST SECTION CORNER OF SAID SECTION; THENCE N 00°00'00" E AND ALONG THE WEST SECTION LINE OF SAID SECTION FOR A DISTANCE OF 1801.85 FEET TO THE TRUE POINT OF BEGINNING; THENCE S89°44'05" E A DISTANCE OF 353.82 FEET; THENCE S 00°00'00" E, A DISTANCE OF 579.43 FEET; THENCE N87°16'35" W, A DISTANCE OF 321.18 FEET; THENCE N 00°00'00" E AND ALONG THE WEST SECTION LINE A DISTANCE OF 564.24 FEET TO THE TRUE POINT OF BEGINNING AND CONTAINS 4.64 ACRES PLUS OR MINUS WHICH INCLUDES THE 33 FOOT SECTION LINE RIGHT-OF-WAY.

I HEREBY CERTIFY THAT I HAVE SURVEYED AND PLATTED THE ABOVE DESCRIBED PROPERTY INTO ONE TRACT AS SHOWN ON THE ABOVE PLAT. THE SAME SHALL HEREAFTER BE

OFFICIAL WETLAND DETERMINATION
for Highlighted Tracts Only

- (W) Wetland
- (FW) Ditched or tilled prior to 12-23-85 but still wetland
- (PC) Converted Wetland prior to 12-23-85
- (CW) Converted Wetland after 12-23-85
- (---) Ditched prior to 12-23-85
- (---) Tilled prior to 12-23-85
- (---w---) Wetland in a channel



220K

Form: FSA-156EZ

See Page 2 for non-discriminatory Statements.

Abbreviated 156 Farm Record

Operator Name : DAN VIET/MATTHEW VIET
Farms Associated with Operator :
CRP Contract Number(s) : None
Recon ID : 46-125-2017-105
Transferred From : None
ARCPLC G//F Eligibility : Eligible

Farm Land Data

| Farmland | Cropland | DCP Cropland | WBP | WRP | CRP | GRP | Sugarcane | Farm Status | Number Of Tracts |
|--------------------|--------------------|------------------------|----------------|------|------|---------------|-----------|----------------------|------------------------|
| 288.75 | 200.89 | 200.89 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | Active | 1 |
| State Conservation | Other Conservation | Effective DCP Cropland | Double Cropped | | MPL | Acre Election | EWP | DCP Ag.Rel. Activity | Broken From Native Sod |
| 0.00 | 0.00 | 200.89 | 0.00 | | 0.00 | | 0.00 | 0.00 | 0.92 |

Crop Election Choice

| ARC Individual | ARC County | Price Loss Coverage |
|----------------|-------------|---------------------|
| None | CORN, SOYBN | None |

DCP Crop Data

| Crop Name | Base Acres | CCC-505 CRP Reduction Acres | PLC Yield | HIP |
|--------------|---------------|-----------------------------|-----------|-----|
| Corn | 95.43 | 0.00 | 144 | 0 |
| Soybeans | 84.16 | 0.00 | 48 | 0 |
| TOTAL | 179.59 | 0.00 | | |

NOTES

| |
|--|
| |
|--|

Tract Number : 2612
Description : SW 4; NW 9 97 53
FSA Physical Location : SOUTH DAKOTA/TURNER
ANSI Physical Location : SOUTH DAKOTA/TURNER
BIA Unit Range Number :
HEL Status : NHEL: No agricultural commodity planted on undetermined fields
Wetland Status : Tract contains a wetland or farmed wetland
WL Violations : None
Owners : WAYNE DAVEY, CURT DAVEY, JEAN A SKONHOVD
Other Producers : MATTHEW VIET, DAN VIET
Recon ID : None

Tract Land Data

| Farm Land | Cropland | DCP Cropland | WBP | WRP | CRP | GRP | Sugarcane |
|--------------------|--------------------|------------------------|----------------|------|------|-----------------------|------------------------|
| 288.75 | 200.89 | 200.89 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| State Conservation | Other Conservation | Effective DCP Cropland | Double Cropped | MPL | EWP | DCP Ag. Rel. Activity | Broken From Native Sod |
| 0.00 | 0.00 | 200.89 | 0.00 | 0.00 | 0.00 | 0.00 | 0.92 |

DCP Crop Data

| Crop Name | Base Acres | CCC-505 CRP Reduction Acres | PLC Yield |
|-----------|------------|-----------------------------|-----------|
| | | | |

SOUTH DAKOTA
TURNER
Form: FSA-156EZ



FARM : 9515
Prepared : 9/2/22 11:30 AM
Crop Year : 2022

Abbreviated 156 Farm Record

Tract 2612 Continued ...

| | | | |
|--------------|---------------|-------------|-----|
| Corn | 95.43 | 0.00 | 144 |
| Soybeans | 84.16 | 0.00 | 48 |
| TOTAL | 179.59 | 0.00 | |

NOTES

In accordance with Federal civil rights law and U.S. Department of Agriculture (USDA) civil rights regulations and policies, the USDA, its Agencies, offices, and employees, and institutions participating in or administering USDA programs are prohibited from discriminating based on race, color, national origin, religion, sex, gender identity (including gender expression), sexual orientation, disability, age, marital status, family/parental status, income derived from a public assistance program, political beliefs, or reprisal or retaliation for prior civil rights activity, in any program or activity conducted or funded by USDA (not all bases apply to all programs). Remedies and complaint filing deadlines vary by program or incident.

Persons with disabilities who require alternative means of communication for program information (e.g., Braille, large print, audiotape, American Sign Language, etc.) should contact the responsible Agency or USDA's TARGET Center at (202) 720-2600 (voice and TTY) or contact USDA through the Federal Relay Service at (800) 877-8339. Additionally, program information may be made available in languages other than English.

To file a program discrimination complaint, complete the USDA Program Discrimination Complaint Form, AD-3027, found online at http://www.ascr.usda.gov/complaint_filing_cust.html and at any USDA office or write a letter addressed to USDA and provide in the letter all of the information requested in the form. To request a copy of the complaint form, call (866) 632-9992. Submit your completed form or letter to USDA by: (1) mail: U.S. Department of Agriculture Office of the Assistant Secretary for Civil Rights 1400 Independence Avenue, SW Washington, D.C. 20250-9410; (2) fax: (202) 690-7442; or (3) e-mail: program.intake@usda.gov. USDA is an equal opportunity provider, employer, and lender.

SOUTH DAKOTA
TURNER



FARM : 9516
Prepared : 9/2/22 11:30 AM
Crop Year : 2022

Form: FSA-156EZ

Abbreviated 156 Farm Record

See Page 2 for non-discriminatory Statements.

Operator Name : R & J VENTURES LLC
 Farms Associated with Operator :
 CRP Contract Number(s) : None
 Recon ID : 46-125-2017-105
 Transferred From : None
 ARCPLC G/IF Eligibility : Eligible

Farm Land Data

| Farmland | Cropland | DCP Cropland | WBP | WRP | CRP | GRP | Sugarcane | Farm Status | Number Of Tracts |
|--------------------|--------------------|------------------------|----------------|------|------|---------------|-----------|----------------------|------------------------|
| 70.02 | 52.72 | 52.72 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | Active | 1 |
| State Conservation | Other Conservation | Effective DCP Cropland | Double Cropped | | MPL | Acre Election | EWP | DCP Ag.Rel. Activity | Broken From Native Sod |
| 0.00 | 0.00 | 52.72 | 0.00 | | 0.00 | | 0.00 | 0.00 | 0.00 |

Crop Election Choice

| ARC Individual | ARC County | Price Loss Coverage |
|----------------|-------------|---------------------|
| None | CORN, SOYBN | None |

DCP Crop Data

| Crop Name | Base Acres | CCC-505 CRP Reduction Acres | PLC Yield | HIP |
|--------------|--------------|-----------------------------|-----------|-----|
| Corn | 25.25 | 0.00 | 128 | 0 |
| Soybeans | 22.26 | 0.00 | 43 | 0 |
| TOTAL | 47.51 | 0.00 | | |

NOTES

| |
|--|
| |
|--|

Tract Number : 3733
 Description : WSW 17 97 53
 FSA Physical Location : SOUTH DAKOTA/TURNER
 ANSI Physical Location : SOUTH DAKOTA/TURNER
 BIA Unit Range Number :
 HEL Status : NHEL: No agricultural commodity planted on undetermined fields
 Wetland Status : Tract contains a wetland or farmed wetland
 WL Violations : None
 Owners : WAYNE DAVEY, CURT DAVEY, JEAN A SKONHOVD
 Other Producers : COLLIN GRAVES
 Recon ID : None

Tract Land Data

| Farm Land | Cropland | DCP Cropland | WBP | WRP | CRP | GRP | Sugarcane |
|--------------------|--------------------|------------------------|----------------|------|------|-----------------------|------------------------|
| 70.02 | 52.72 | 52.72 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| State Conservation | Other Conservation | Effective DCP Cropland | Double Cropped | MPL | EWP | DCP Ag. Rel. Activity | Broken From Native Sod |
| 0.00 | 0.00 | 52.72 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

DCP Crop Data

| Crop Name | Base Acres | CCC-505 CRP Reduction Acres | PLC Yield |
|-----------|------------|-----------------------------|-----------|
| | | | |

SOUTH DAKOTA
TURNER
Form: FSA-156EZ



FARM : 9516
Prepared : 9/2/22 11:30 AM
Crop Year : 2022

Abbreviated 156 Farm Record

Tract 3733 Continued ...

| | | | |
|--------------|--------------|-------------|-----|
| Corn | 25.25 | 0.00 | 128 |
| Soybeans | 22.26 | 0.00 | 43 |
| TOTAL | 47.51 | 0.00 | |

NOTES

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Issuing Agent: Turner County Title Company
Issuing Office File Number: 22-TI-13762

"AMENDED"
SCHEDULE A

1. Commitment Date: June 24, 2022 at 08:00 AM
2. Policy or policies to be issued:
 - a. ALTA Own. Policy (08/01/16)
 Standard Coverage Extended Coverage
 Proposed Insured: TO BE DETERMINED
 Proposed Policy Amount: \$ 10,000.00
 - b. ALTA Own. Policy (08/01/16)
 Standard Coverage Extended Coverage
 Proposed Insured:
 Proposed Policy Amount: \$ 0.00
3. The estate or interest in the Land described or referred to in this Commitment is Fee Simple.
4. Title to the estate or interest in the Land is at the Commitment Date vested in Wayne M. Davey and Curt D. Davey and Jean Skonhovd.
5. The Land is described as follows:

Parcel 1: The Northwest Quarter (NW 1/4) except Lot H3 thereof, Section Nine (9), Township Ninety-Seven (97) North, Range Fifty-Three (53) West of the 5th P.M., Turner County, South Dakota.

Parcel 2: The Southwest Quarter (SW 1/4) except Lot H2 thereof, Section Four (4), Township Ninety-Seven (97) North, Range Fifty-Three (53) West of the 5th P.M., Turner County, South Dakota;

Parcel 3: The West Half of the Southwest Quarter (W 1/2 SW 1/4) of Section Seventeen (17), Township Ninety-Seven (97) North, Range Fifty-Three (53) West of the 5th P.M., Turner County, South Dakota, except Davey Tract No. 1 thereof, according to the recorded plat thereof.

DAKOTA HOMESTEAD TITLE INSURANCE COMPANY

By: 
Turner County Title Company

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SCHEDULE BI & BII
(Continued)

File Number: 22-TI-13762

SCHEDULE B, PART II
Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

- A. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
- B. General Exceptions:
1. Rights or claims of parties in possession not shown by the public records.*
 2. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey or inspection of the premises including, but not limited to, insufficient or impaired access or matters contradictory to any survey plat shown by the public records.*
 3. Easements, or claims of easements, not shown by the public records.*
 4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.*
 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof, (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the public records.*
 6. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.*
 7. Any Service, installation or connection charge for sewer, water or electricity.*
 8. Any right, title, or interest in any minerals, mineral rights, or related matters, including but not limited to oil, gas, coal, and other hydrocarbons.*

*Paragraphs 1, 2, 3, 4, 5, 6, 7 and 8 will not appear as printed exceptions on extended coverage policies, except as to such parts thereof which may be typed as a Special Exception.

- C. Special Exceptions:
1. Any change in title occurring subsequent to the effective date of this Commitment and prior to the date of issuance of the final title policy.
Parcel 1:
 2. WARRANTY DEED, dated November 2, 1932, filed August 24, 1938 @ 2:00 P.M. and recorded in Book 69 of Deeds, page 113, Turner County Records, grants unto Turner County, South Dakota .14 acres for rounding corner in Northwest corner of Sec 9-97-53.

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SCHEDULE BI & BII
(Continued)

File Number: 22-TI-13762

3. WARRANTY DEED, dated October 6, 1938, filed July 19, 1939 @ 3:00 P.M. and recorded in Book 70 of Deeds, page 443, Turner County Records, grants unto Turner County, South Dakota, a public corporation, a strip of land parallel to and adjacent to the regular public road right-of-way along the North side of Sec 9-97-53; said strip of land being 17 Feet wide and 1090.9 Feet more or less long and extending from the North and South 1/16 line of the NW 1/4 Sec 9 to the North and South 1/4 line of the said Sec 9; said strip contains .43 acres being a part of the E 1/2 NW 1/4 Sec 9-97-53
4. WARRANTY DEED, dated June 6, 1938, filed July 19, 1939 @ 3:00 P.M. and recorded in Book 70 of Deeds, page 444, Turner County Records, grants unto Turner County, South Dakota, a public corporation, a strip of land parallel to and adjacent to the regular public road right-of-way along the North side of Sec 9-97-53; said strip of land being 17 Feet wide and 1338.9 Feet more or less long and extending from the East boundary line of the regular public road right-of-way along the West side of said Sec 9 to the North and South 1/16 line of the NW 1/4 Sec 9; said strip contains .49 acres not including that portion (.03) acres lying with a previously acquired 40 degree curve at its westerly end, being a part of the W 1/2 NW 1/4 Sec 9-97-53
5. RIGHT-OF-WAY EASEMENT, dated November 1, 1984, filed November 6, 1984 @ 10:30 A.M. and recorded in Book 37 of Misc., page 572, Turner County Records, grants unto TM Rural Water District, it's successors and assigns, a perpetual easement in conjunction with the operation of a rural water system 100 Feet lying parallel to the road in the SW 1/4 NW 1/4 30 Feet East of fence line in Sec 9-97-53.
6. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 58A, Turner County Records, claims the right of drainage from the W 1/2 NW 1/4 Sec 9-97-53 through dike onto the SW 1/4 Sec 9-97-53.
7. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 60A, Turner County Records, claims the right of drainage from the W 1/2 NW 1/4 Sec 9-97-53 through tile onto the SW 1/4 Sec 9-97-53.
8. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 61A, Turner County Records, claims the right of drainage from the E 1/2 NW 1/4 Sec 9-97-53 through tile onto the SE 1/4 Sec 9-97-53.
9. RIGHT-OF-WAY EASEMENT, dated February 22, 2012, filed April 12, 2012 @ 9:45 A.M. and recorded in Book 49 of Misc., page 504, Turner County Records, grants unto TM Rural Water District, it's successors and assigns, a perpetual easement in conjunction with the operation of a rural water system over, under, across and through the N 1/2 NW 1/4 Sec 9-97-53.
10. WARRANTY DEED, dated January 4, 2018, filed February 2, 2018 @ 9:30 A.M. and recorded in Book 118 of Deeds, page 52, Turner County Records, conveys to South Dakota Department of Transportation Lot H2 in the SW 1/4 Sec 4-97-53 and Lot H3 in the NW 1/4 Sec 9-97-53.
11. QUIT CLAIM DEED, dated January 4, 2018, filed February 2, 2018 @ 9:30 A.M. and recorded in Book 118 of Deeds, page 53, Turner County Records, conveys to South Dakota Department of Transportation Lot H2 in the SW 1/4 Sec 4-97-53 and Lot H3 in the NW 1/4 Sec 9-97-53.
12. QUIT CLAIM DEED, dated January 9, 2018, filed February 2, 2018 @ 9:30 A.M. and recorded in Book 118 of Deeds, page 55, Turner County Records, conveys to South Dakota Department of Transportation Lot H2 in the SW 1/4 Sec 4-97-53 and Lot H3 in the NW 1/4 Sec 9-97-53.
13. LOCATION NOTICE DRYDRAW, dated August 23, 1977, filed August 29, 1977 @ 10:00 A.M. Said Dry Draw is located in the SE 1/4 NW 1/4 Sec 9-97-53.

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SCHEDULE BI & BII
(Continued)

File Number: 22-TI-13762

14. REAL ESTATE TAXES for the year 2022 and subsequent years which constitute a lien but are not due and payable. Real Estate Taxes for the first half of 2021 payable by April 30, 2022 in the amount of \$1,421.20 are paid; the second half of the 2021 Real Estate Taxes payable by October 31, 2022 in the amount of \$1,421.20 are unpaid. Parcel ID#: 17000-09753-09200
Parcel 2:
15. WARRANTY DEED, dated October 6, 1938, filed July 19, 1939 @ 3:00 P.M. and recorded in Book 70 of Deeds, page 445 Turner County Records, grants unto Turner County, South Dakota, a public corporation, a strip of land parallel to and adjacent to the regular public road right-of-way along the South side of Sec 4-97-53; said strip of land being 17 Feet wide and 2,429.8 Feet more or less long and extending from the East boundary line of the regular public road right-of-way along the West side of Sec 4 to the North and South 1/4 line of said Sec 4; said strip contains .95 acres being a part of the SW 1/4 Sec 4-97-53.
16. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 59A, Turner County Records, claims the right of drainage from the W 1/2 SW 1/4 Sec 4-97-53 through tile onto the SW 1/4 Sec 9-97-53.
17. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 62A, Turner County Records, claims the right of drainage from the E 1/2 SW 1/4 Sec 4-97-53 through tile onto the SE 1/4 Sec 4-97-53.
18. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 66A, Turner County Records, claims the right of drainage from the W 1/2 SW 1/4 Sec 4-97-53 through ditch onto the SW 1/4 Sec 9-97-53.
19. RIGHT-OF-WAY EASEMENT, dated July 13, 1999, filed November 17, 2000 @ 8:30 A.M. and recorded in Book 44 of Misc., page 485, Turner County Records, grants unto TM Rural Water District, its successors and assigns, a perpetual easement in conjunction with the operation of a rural water system, over under, across and through the SW 1/4 Sec 4-97-53.
20. RIGHT-OF-WAY EASEMENT, dated February 22, 2012, filed April 12, 2012 @ 9:45 A.M. and recorded in Book 49 of Misc., page 505, Turner County Records, grants unto TM Rural Water District, its successors and assigns, a perpetual easement in conjunction with the operation of a rural water system, over under, across and through the SW 1/4 Sec 4-97-53.
21. ELECTRIC LINE RIGHT-OF-WAY EASEMENT, dated April 26, 2017, filed November 29, 2017 @ 10:40 A.M. and recorded in Book 51 of Misc., page 508, Turner County Records, grants unto Southeastern Electric Cooperative, a Cooperative Corporation, its successors or assigns, the perpetual right to enter upon the SW 1/4 Sec 4-97-53 to construct, reconstruct, repair, operate and maintain an electric transmission and/or distribution line or system thereon.
22. WARRANTY DEED, dated January 4, 2018, filed February 2, 2018 @ 9:30 A.M. and recorded in Book 118 of Deeds, page 52, Turner County Records, conveys to South Dakota Department of Transportation Lot H2 in the SW 1/4 Sec 4-97-53 and Lot H3 in the NW 1/4 Sec 9-97-53.
23. QUIT CLAIM DEED, dated January 4, 2018, filed February 2, 2018 @ 9:30 A.M. and recorded in Book 118 of Deeds, page 53, Turner County Records, conveys to South Dakota Department of Transportation Lot H2 in the SW 1/4 Sec 4-97-53 and Lot H3 in the NW 1/4 Sec 9-97-53.
24. QUIT CLAIM DEED, dated January 9, 2018, filed February 2, 2018 @ 9:30 A.M. and recorded in Book 118 of Deeds, page 55, Turner County Records, conveys to South Dakota Department of Transportation Lot H2 in the SW 1/4 Sec 4-97-53 and Lot H3 in the NW 1/4 Sec 9-97-53.

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SCHEDULE BI & BII
(Continued)

File Number: 22-TI-13762

25. REAL ESTATE TAXES for the year 2022 and subsequent years which constitute a lien but are not due and payable. Real Estate Taxes for the first half of 2021 payable by April 30, 2022 in the amount of \$2,040.24 are paid; the second half of the 2021 Real Estate Taxes payable by October 31, 2022 in the amount of \$2,040.24 are unpaid. Parcel ID#: 17000-09753-09200
Parcel 3:
26. VESTED DRAINAGE RIGHT FORM, dated June 13, 1992, filed June 16, 1992 @ 9:10 A.M. and recorded in Book 41 of Misc., page 288, Turner County Records, claims the right of drainage from the SE 1/4 Sec 18-97-53 through ditches onto the SW 1/4 Sec 17-97-53.
27. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 63A, Turner County Records, claims the right of drainage from the S 1/2 SW 1/4 Sec 17-97-53 through ditches onto the NW 1/4 Sec 17-97-53.
28. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 64A, Turner County Records, claims the right of drainage from the S 1/2 SW 1/4 Sec 17-97-53 through ditches onto the NW 1/4 Sec 17-97-53.
29. VESTED DRAINAGE RIGHT FORM, dated June 30, 1992, filed June 30, 1992 @ 3:00 P.M. and recorded in Book 41 of Misc., page 65A, Turner County Records, claims the right of drainage from the S 1/2 SW 1/4 Sec 17-97-53 through ditches onto the NW 1/4 Sec 17-97-53.
30. VESTED DRAINAGE RIGHT FORM, dated June 26, 1992, filed June 30, 1992 @ 3:10 P.M. and recorded in Book 41 of Misc., page 70A, Turner County Records, claims the right of drainage from the NW 1/4 Sec 20-97-53 through ditches onto the SW 1/4 Sec 17-97-53.
31. REAL ESTATE TAXES for the year 2022 and subsequent years which constitute a lien but are not due and payable. Real Estate Taxes for the first half of 2021 payable by April 30, 2022 in the amount of \$416.47 are paid; the second half of the 2021 Real Estate Taxes payable by October 31, 2022 in the amount of \$416.47 are unpaid. Parcel ID#: 17000-09753-17300
32. PLEASE be advised that the designations of Parcels 1, 2 and 3 used in this Commitment are for reference purposes only and such Parcel designations are not part of the actual legal descriptions of the insured land described in Schedule A hereof.
33. THIS COMMITMENT shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.
34. Note: Coverage of this Commitment extends only to filings in the records of the Register of Deeds, Treasurer and Clerk of Courts of Turner County. Search was not made of filings in the Central Filing Office of the Secretary of State of South Dakota, and any filings in that office are not covered by this Commitment.

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TRACT 1



TRACT 2



TRACT 3



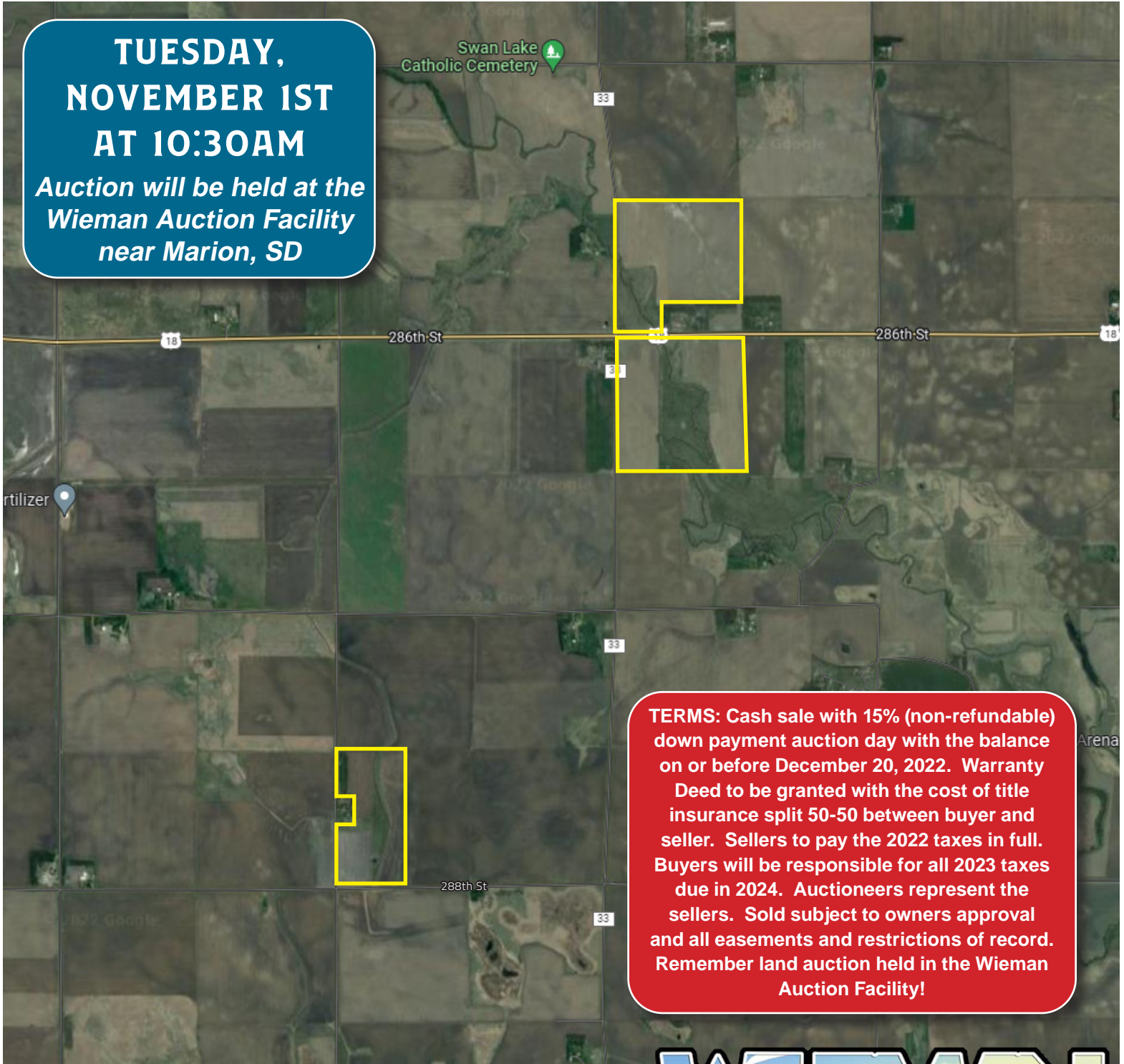
NOTES

350.14 ACRES

TURNER COUNTY LAND

**TUESDAY,
NOVEMBER 1ST
AT 10:30AM**

*Auction will be held at the
Wieman Auction Facility
near Marion, SD*



TERMS: Cash sale with 15% (non-refundable) down payment auction day with the balance on or before December 20, 2022. Warranty Deed to be granted with the cost of title insurance split 50-50 between buyer and seller. Sellers to pay the 2022 taxes in full. Buyers will be responsible for all 2023 taxes due in 2024. Auctioneers represent the sellers. Sold subject to owners approval and all easements and restrictions of record. Remember land auction held in the Wieman Auction Facility!

"We Sell The Earth And Everything On It!"

800.251.3111 | Marion, SD | WiemanAuction.com

Wieman Land & Auction Inc., 44628 SD HWY 44, Marion SD 57043

